

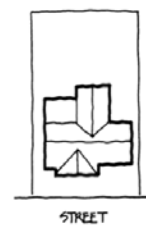
D09

# Site area and frontage width for dwellings

## *Residential Zone*

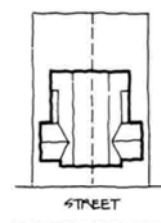
A **detached dwelling** is:

a building comprising of one dwelling on a site that is held exclusively with that dwelling and has a frontage to a public road or to a road proposed in a land division that is the subject of a current development authorisation.



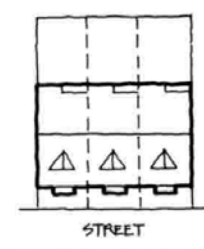
A **semi-detached dwelling** is a dwelling:

- Occupying a site that is held exclusively with that dwelling and has a frontage to a public road or a road proposed in a plan of land division that is the subject of a current planning authorisation; and
- Comprising one of two dwellings erected side by side, joined together and forming, a single building.



A **row dwelling** is a dwelling:

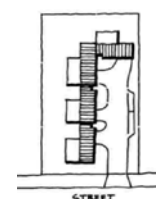
- Occupying a site that is held exclusively with that land dwelling and has frontage to a public road to a road proposed in a plan of land division that is the subject of a current development authorisation; and
- Comprising one of three or more dwellings erected side by side, joined together and forming, by themselves, a single building.



A **group dwelling** is one of a group of two or more detached buildings, each of which is used as a dwelling and one of more which has a site without a frontage to a public road or to a road proposed in a plan of land division that is the subject of a current development authorisation.



A **residential flat building (RFB)** means a single building in which there are two or more dwellings, but does not include a semi-detached dwelling, a row dwelling or a group dwelling.



## Detached Dwellings and Semi Detached Dwellings

Policy Area	Site Area (m <sup>2</sup> )	Frontage Width (m)
Note: driveway areas of hammerhead/battle-axe allotments are not included when calculating minimum site areas.	Reduced site area may be considered if replacing a non-complying use or adjoining a large public open space.	Where dwellings have and use rear vehicular access, lesser site frontages may be considered.
15 Inner Suburban <sup>^</sup>	250	8
16 Mid Suburban <sup>^</sup>	300	8
17 Western Edge <sup>^ #</sup>	300	8
18 West Lakes General	350	10
19 West Lakes Medium Density	250	8
20 Integrated Medium Density	No density limit	No limit
21 Woodville Medium Density	No density limit	No limit
22 Cheltenham Park	No density limit	No limit
23 Woodville West	Refer to Development Plan	

## Row Dwellings

Policy Area	Density Controls		
	Site Area (m <sup>2</sup> )	Frontage Width (m)	Site depth (m)
Note: driveway areas are included when calculating site areas.	The minimum site area may be reduced by 15% where replacing a non-complying use or on a site >1200 m <sup>2</sup> within Policy Areas 15, 16, 17 and 18.	Where dwellings have and use rear vehicular access, or have sites of greater than 1200m <sup>2</sup> lesser site frontages may be considered.	
15 Inner Suburban	220	7	25
16 Mid Suburban <i>Row dwellings are only appropriate along arterial roads, facing the River Torrens, or facing public spaces &gt;2500 m<sup>2</sup></i>	250	8	25
17 Western Edge	300	8	25
18 West Lakes General	350	10	25
19 West Lakes Medium Density	200	7	25
20 Integrated Medium Density	No minimum requirement *	No minimum requirement *	No minimum requirement *
21 Woodville Medium Density	No minimum requirement *	No minimum requirement *	No minimum requirement *
22 Cheltenham Park	No minimum requirement *	No minimum requirement *	No minimum requirement *
23 Woodville West	No minimum requirement *	No minimum requirement *	No minimum requirement *

\*Although no minimum requirements are set for Policy Areas 20-23 the development will need to meet other Development Plan principles including desired character density statements, setbacks, private open space, building envelope, vehicle manoeuvring etc.

## Group Dwellings and Residential Flat Buildings

Policy Area	Density Controls	
	Site Area (m <sup>2</sup> )	Frontage Width (m)
Note: driveway areas are included when calculating site areas.		Where dwellings have and use rear vehicular access, or have sites of greater than 1200m <sup>2</sup> lesser site frontages may be considered.
15 Inner Suburban	220 average	16 regular / 8 irregular
16 Mid Suburban	300 average	16 / 8
17 Western Edge	300 average	16 / 8
18 West Lakes General	350 average	18 / 10
19 West Lakes Medium Density	200 average	16 / 10
20 Integrated Medium Density	No minimum requirement *	No minimum requirement *
21 Woodville Medium Density	No minimum requirement *	No minimum requirement *
22 Cheltenham Park	No minimum requirement *	No minimum requirement *
23 Woodville West	No minimum requirement *	No minimum requirement *

\*Although no minimum requirements are set for Policy Areas 20-23 the development will need to meet other Development Plan principles including desired character density statements, setbacks, private open space, building envelope, vehicle manoeuvring etc.