

D08 Dwellings within the Residential Zone

Design Guidelines

Note: *This guide relates to properties located in the Residential Zone only.*

Before you use this guide, you will need to know the dimensions of your property (site area and frontage width). You will also need to know the zone and policy area of your property. The zone and policy area can be searched for and determined at www.charlessturt.sa.gov.au – [Development – Development Information Guides – Zone and Policy Area Map Search](#).

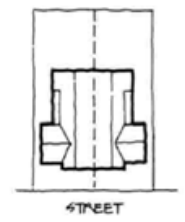
Any variations on the following guidelines are considered on their merits as to whether Development Plan Consent should be granted.

Definitions:

A **detached dwelling** is a building comprising of one dwelling on a site that is held exclusively with that dwelling and has a frontage to a public road or to a road proposed in a land division that is the subject of a current development authorisation.

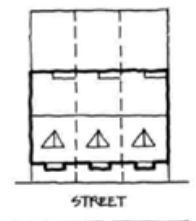
A **semi-detached dwelling** is a dwelling:

- Occupying a site that is held exclusively with that dwelling and has a frontage to a public road or a road proposed in a plan of land division that is the subject of a current planning authorisation; and
- Comprising one of two dwellings erected side by side, joined together and forming a single building.

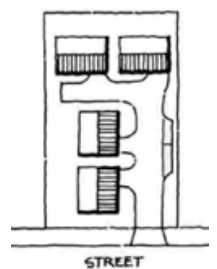


A **row dwelling** is a dwelling:

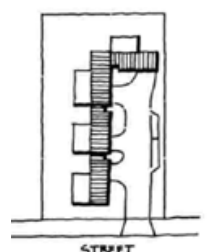
- Occupying a site that is held exclusively with that land dwelling and has frontage to a public road to a road proposed in a plan of land division that is the subject of a current development authorisation; and
- Comprising one of three or more dwellings erected side by side, joined together and forming, by themselves, a single building.



A **group dwelling** is one of a group of two or more detached buildings, each of which is used as a dwelling and one of more which has a site without a frontage to a public road or to a road proposed in a plan of land division that is the subject of a current development authorisation.



A **residential flat building (RFB)** means a single building in which there are two or more dwellings, but does not include a semi-detached dwelling, a row dwelling or a group dwelling.



Do I need approval to build a dwelling?

Yes - All new dwellings require Development Approval.

What size does my site need to be to accommodate a dwelling?

Please refer to Development Information Guide D09 - Site Area and Frontage Width for Dwellings.

Can I build on the side boundary (fence line*) of my property?

Yes - However the following criteria will be taken into account:

- Other structures on the boundary of the adjoining site
- Other structures on the boundary of the subject site
- Wall heights (maximum of 3 metres)
- Wall length (maximum of 8 metres)

Generally, only one side boundary can be built upon. Access to the rear yard should be available for emergency services along one side of the dwelling.

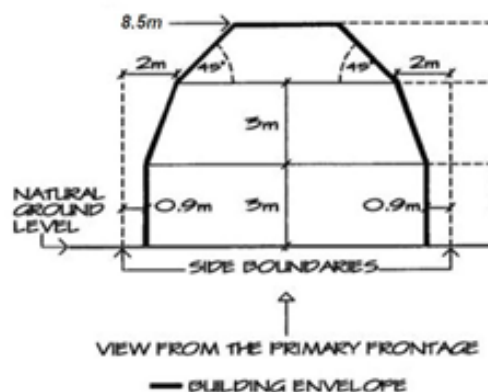
Policy Areas 20, 21, 22 and 23 have additional requirements with regard to building on the boundary. Please contact Council's Planning team for further information.

How close can I build to the side boundary (fence line*)?

As per the diagram to the right, dwellings should meet the building envelope guidelines.

Single storey components should generally be set off the side boundary 0.9 metres (with a wall height no greater than 3 metres. If the wall height exceeds 3 metres it should be set further off the side boundary).

Second storey components should be 2 metres off the side boundary (with a wall height no greater than 6 metres. If the wall height exceeds 6 metres it should be set further off the side boundary as per the diagram to the right).



How close to the front property boundary can I build my house?

Dwellings (excluding garages and carports) should be setback from the **front boundary**:

- 5 metres within Residential Zone Policy Areas 16, 17, 18 and 19.
- Within Residential Zone Policy Areas 15, 20, 21, 22 and 23 please refer to the Development Plan as different requirements apply.

How close can I build to a secondary (side) street boundary?

Except in areas where a new character is desired or where specified in a zone, policy area or precinct, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality. Check zone, policy area and/or precinct standards for any specific setback distances.

How close to the rear boundary (fence line*) can I build?

Each Policy Area has different requirements for rear setbacks. Refer to the following table:

Residential Zone Policy Area	Minimum single storey component setback from rear boundary	Minimum second storey component setback from rear boundary
15, 16 & 17	3 metres	6 metres
18 & 19	3 metres 4m where fronting a coastal reserve or in-line with the adjoining dwellings (whichever is greater)	5 metres
20	1 metre or 3 metres for the entire building where the site abuts land in another residential zone or policy area	2 metres (two storey component) 3 metres (three storey component) 3 metres for the entire building where the site abuts land in another residential zone or policy area
21	3 metres Nil when adjoining a service or access lane	6 metres for two and more storey components A lesser setback of 3m will be considered if certain criteria are met for two or more storey components Nil when adjoining a service or access lane
22	3 metres	5 metres for two and three storey components. A lesser setback of 3m will be considered if certain criteria are met for two and three storey components Setbacks for buildings higher than three storeys are considered on their merits taking into account impacts on nearby properties including overshadowing and overlooking. four or more storey components
23	3 metres	5 metres for two or three storey components Nil when adjoining a service or access lane

Are there any restrictions for coastal development?

Yes - Development fronting the coastal reserve may be impacted by additional setback and stormwater requirements. Please contact Council's Planning Department on 8408 1111 for further information if your property is located along the coast.

How many car parks do I need to provide?

Detached and semi-detached dwellings should be provided with two on-site parking spaces, one of which is covered (the second space can be tandem – one behind the other).

Row, group and residential flat buildings should have carparking provided at the following rates:

Dwelling size or number of bedrooms		Average spaces per dwelling	
		1 km radius from a District Centre, the Integrated Medium Density Policy Area 20, or <200 m radius from a railway station or bus stop	Any other circumstances
Large	3+ bedrooms or floor area >130 m ²	1.25	2
Medium	2 bedrooms or floor area of 75 m ² to 130 m ²	1	1.5
Small	1 bedroom or floor area <75 m ²	0.75	1
Add for visitors per dwelling		0.25	0.25

Where can I put my garage?

Carports and garages (including under the main roof of the dwelling) should be designed to meet the following criteria;

- Must be setback a minimum 5.5 m from the street that the dwelling is facing,
- Located behind the main face (wall) of the dwelling (at least 500mm),
- The maximum width of a carport or garage that faces the street should be not more than six (6) metres or 50% of the frontage width, whichever is the less.
- If located on the boundary will not have a height exceeding 3 metres and length is not greater than twelve (12) metres.

Garages and carports can only be located forward of the associated dwelling where they have been designed and sited to minimise visual and other impacts.

For further information on carports and garages please refer to the Carports, Garages, Verandahs and Sheds Development Information Guide.

Are there any requirements for driveway and driveway crossovers?

Driveways need to comply with relevant Australian Standards (AS2890.1). The minimum driveway width that can be accepted under Australian Standards is 3 metres (provided the driveway is not adjacent to a barrier higher than 150mm). Additional driveway widths above 3 metres are considered on merit with consideration to available on-street carparking.

Driveway crossovers are the property's asset that exists on Council land and the property owner is responsible for a driveway crossover.

When a new crossover is proposed, it must be a minimum of 1 metre away from a stobie pole and minimum of 2 metres away from a Council street tree.

A driveway crossover permit is required to install a new driveway crossover, and permit forms can be found on Council's website.

Does my house need to have an entrance door and windows facing the street?

Yes - Dwellings should be designed to:

- overlook public streets, communal spaces or public reserves in order to provide casual surveillance
- include a habitable room that faces the street
- enable the front door to be clearly visible so visitors can easily identify a particular dwelling
- reduce the visual dominance of the garage doors and blank walls.

How much private open space (backyard) do I have to provide?

Council will generally only consider private open space which is located to the side or rear of the dwelling (excluding driveways and carparking areas).

Side and rear yard space should meet the requirements set out below:

Site area per dwelling (square metres)	Minimum area excluding any area at ground level at the front of the dwelling (square metres)	Minimum dimension (metres)	Minimum area to be provided at the rear or side of the dwelling, and be directly accessible from a habitable room (square metres)
>500	80, of which 10 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres	4	24
300-500	60, of which 10 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres	4	16
<300	24	4	16
<200 or within Integrated Medium Density Policy Area 20	8, where the dwelling has 1 bedroom or comprises a studio (where there is no separate bedroom)	2	8
	11, where the dwelling has 2 bedrooms	2	11
	15, where the dwelling has 3 or more bedrooms	2	15

Can I build a two storey house?

Yes - Generally 8.5m is the maximum building height.

However, there are variations in some zones as set out below:

- Three storey buildings up to 12m height are considered in parts of the Western Edge Policy Area 17, West Lakes Medium Density Policy Area 19, Integrated Medium Density Policy Area 20 and Woodville Medium Density Policy Area 21.
- Buildings should be of 8.5 – 15 metres in height in Cheltenham Park Policy Area 22.

Please refer to set back requirements for upper storey components in relation to side and rear setbacks.

Do upper level windows need to be obscured (frosted)?

Direct overlooking from upper level windows, external balconies, terraces, decks and buildings with significant overlooking opportunities into useable private open spaces and/or windows of adjacent dwellings should be minimised.

Suggestions to minimise direct overlooking from windows and direct views from balconies, terraces and decks are:

- Permanently fixed translucent glazing in any part of the window below 1.5 m above finished floor level
- Window sill heights of 1.5 m above finished floor level
- Permanently fixed external screens, including wing walls and solid or translucent panels, of a minimum height of 1.5 m above finished floor level
- Permanently fixed external perforated panels or trellises which have a maximum of 25% openings (subject to design).

What is Residential Code Complying Development?

The Residential Code simplifies planning approvals for some common forms of residential development. If your property is located within the Residential Code Area (as stipulated by the legislation – please contact Council’s Planning Department on 8408 1111 to check if you are in a Residential Code Area) and your proposed dwelling meets all the provisions, the development will receive an unconditional Development Plan Consent. Refer to the Residential Code Complying standards checklist available on Council’s website to determine whether your proposal is eligible for this process.

Further Information

Please note that each Development Application will be assessed on its merits having regard to the relevant provisions of Council’s Development Plan. For further information, please call Customer Contact at Council on 8408 1111.

Information required for Development Approval:

- Development Application Form *
- Powerline Declaration Form * (included in the online Development Application Form)
- Current copy Certificate of Title (issued within the last 12 months)
- Site plan to a minimum scale of 1:200
- Floor plan/plan view to a minimum scale of 1:100
- Elevations to a minimum scale of 1:100
- Site survey undertaken by an independent licenced surveyor
- Stormwater and drainage plan to a minimum scale of 1:200

Additional documents required for Building Rules Consent:

- Copy of Indemnity Insurance Certificate
- Construction Industry Training Board (CITB) Levy receipt
- Sections to scale
- Structural engineer's report
- Roof, wall, floor and framing details to scale
- Wet area specifications
- Energy efficiency assessment
- Truss calculation
- General specification
- Manufacturers details
- Location of smoke detectors on a scaled plan (can be shown on the floor plan)
- Protection of buildings exposed to brush fences
- Water efficiency – water tanks
- Stair and balustrade construction details

* Applications can be lodged electronically via the [Development Forms and Checklists](#) page on Council's [website](#).

Additional information can be found within the below [Information Guides](#):

- The Development Approval Process
- Information required for Development Approval

Further advice or hard copy forms can be obtained from the Duty Planning/Building Officer at Council or by phoning 8408 1111.

Development Information Guides are intended to help applicants to submit applications which are complete, well prepared, and can be processed efficiently. The information provided is intended as a general guide only and applicants are encouraged to refer to the City of Charles Sturt Development Plan and to seek professional advice if necessary. This information is subject to frequent updates. This version last updated March 2018. Access the Development Plan and current versions of information guides at www.charlessturt.sa.gov.au