

D06 Dwelling Additions and Alterations

Before you use this guide, you will need to know the dimensions of your property (site area and frontage width). You will also need to know the zone and policy area of your property. The zone and policy area can be searched for and determined at www.charlessturt.sa.gov.au – [Development – Development Information Guides – Zone and Policy Area Map Search](#).

Any variations on the following guidelines are considered on their merits as to whether Development Plan Consent should be granted.

The Development Regulations have been amended to include an alternative set of criteria for dwelling additions and alterations to meet in order to gain Development Plan Consent. These are known as the Residential Code Complying requirements. Proposals meeting all of the Residential Code Complying requirements receive 'as of right' Development Plan Consent. Refer to the Residential Code Complying standards checklist to determine whether your proposal is eligible for this process.

Do I need Development Approval to extend my dwelling?

Yes - All additions and alterations to the dwelling require Development Approval.

Can I build/extend in front of my house?

Yes - However you are required to meet the setback design guidelines as outlined below.

Dwellings (excluding garages and carports) should be setback from the **front boundary**:

- 5 metres within Residential Zone Policy Areas 16, 17, 18 and 19.
- Within Residential Zone Policy Areas 15, 20, 21, 22 and 23 please refer to the Development Plan as different requirements apply.

Can I build on the side boundary (fence line*) of my property?

Yes - However the following criteria will be taken into account:

- Wall heights (maximum of 3m)
- Wall length (maximum of 8m)
- Be constructed along one side of the allotment
- Other structures on the boundary of the adjoining site
- Other structures on the boundary of the subject site
- Access to the rear yard should be available for emergency services along one side of the dwelling.
- Policy Areas 20, 21, 22 and 23 have additional requirements with regards to building on the boundary. Please contact Council's Development Assessment team for further information.

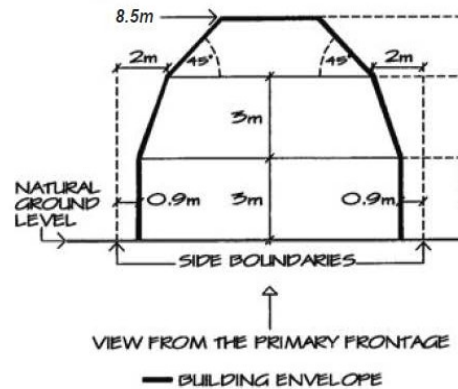
*Please note that fence lines may not be on the true boundary of your property. It is recommended before you undertake any work on the boundary that you engage a licenced surveyor to determine the true location of the boundary.

How far does my addition need to be from the side boundary (fence line*)?

As per the diagram (right) dwellings must meet the building envelope guidelines.

Single storey components should be set off the side boundary 0.9m (with a wall height no greater than 3m. If the wall height exceeds 3m it should be set further off the side boundary)

Second storey components should be 2m off the side boundary (with a wall height no greater than 6m. If the wall height exceeds 6m it should be set further off the side boundary as per the diagram).



How close can I build to a secondary (side) street boundary?

Except in areas where a new character is desired or where specified in a zone, policy area or precinct, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality. Check zone, policy area and/or precinct standards for any specific setback distances.

How close to the rear boundary (fence line*) can I build?

Each Policy Area has different requirements for rear setbacks. Refer to the following table:

Residential Zone Policy Area	Minimum single storey component setback from rear boundary	Minimum second storey component setback from rear boundary
15, 16 & 17	3 metres	6 metres
18 & 19	3 metres 4m where fronting a coastal reserve or in-line with the adjoining dwellings (whichever is greater)	5 metres
20	1 metre	2 metres (two storey component) 3 metres (three storey component) 3 metres for the entire building where the site abuts land in another residential zone or policy area
21	3 metres Nil when adjoining a service or access lane	6 metres for two and more storey components A lesser setback of 3m will be considered if certain criteria are met for two or more storey components Nil when adjoining a service or access lane
22	3 metres	5 metres for two and three storey components Variable for four or more storey components A lesser setback of 3m will be considered if certain criteria are met for two and three storey components
23	3 metres	5 metres for two or three storey components Nil when adjoining a service or access lane

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How many car parks do I need to provide?

Detached and semi-detached dwellings should be provided with two on-site parking spaces, one of which is covered (the second space can be tandem – one behind the other).

How much private open space (backyard) do I have to provide?

Council will generally only consider private open space which is located to the side or rear of the dwelling (excluding driveways and carparking areas).

Side and rear yard space should meet the requirements set out below:

Site area per dwelling (square metres)	Minimum area excluding any area at ground level at the front of the dwelling (square metres)	Minimum dimension (metres)	Minimum area to be provided at the rear or side of the dwelling, and be directly accessible from a habitable room (square metres)
>500	80, of which 10 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres	4	24
300-500	60, of which 10 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres	4	16
<300	24	4	16
<200 or within Integrated Medium Density Policy Area 20	8, where the dwelling has 1 bedroom or comprises a studio (where there is no separate bedroom)	2	8
	11, where the dwelling has 2 bedrooms	2	11
	15, where the dwelling has 3 or more bedrooms	2	15

How high can I build a two storey addition?

Generally 8.5m is the maximum building height.

However, there are variations in some zones as set out below:

- Three storey buildings up to 12m height are considered in parts of the Western Edge Policy Area 17, West Lakes Medium Density Policy Area 19, Integrated Medium Density Policy Area 20 and Woodville Medium Density Policy Area 21.
- Buildings should be of 8.5 – 15 metres in height in Cheltenham Park Policy Area 22.

Please refer to set back requirements for upper storey components in relation to side and rear setbacks.

Do upper level windows need to be obscured (frosted)?

Direct overlooking from upper level windows, external balconies, terraces, decks and buildings with significant overlooking opportunities into useable private open spaces and/or windows of adjacent dwellings should be minimised.

Suggestions to minimise direct overlooking from windows and direct views from balconies, terraces and decks are:

- Permanently fixed translucent glazing in any part of the window below 1.5 m above finished floor level
- Window sill heights of 1.5 m above finished floor level
- Permanently fixed external screens, including wing walls and solid or translucent panels, of a minimum height of 1.5 m above finished floor level
- Permanently fixed external perforated panels or trellises which have a maximum of 25% openings (subject to design).

Do I need to install a smoke detector(s)?

Yes - New homes and additions/alterations to dwellings are required to fit a 240 volt mains powered smoke alarm(s). Note: Depending on the layout of your home, it may be necessary to install more than one smoke alarm to provide sufficient warning.

- It is important that your smoke alarm is installed correctly and in an appropriate location.
- If you need to obtain more information on this topic please refer to the South Australian Metropolitan Fire Services website.

Further Information

Please note that each development application will be assessed on its merits having regard to the relevant provisions of Council's Development Plan. For further information please call Customer Contact at Council on 8408 1111.

Information required for Development Approval:

- Development Application Form *
- Powerline Declaration Form * (included in the online Development Application Form)
- Demolition Proposal Form * (included in the online Development Application Form)
- Current copy Certificate of Title (issued within the last 12 months)
- Site plan to a minimum scale of 1:200
- Floor plan/plan view to a minimum scale of 1:100
- Elevations to a minimum scale of 1:100
- Site survey undertaken by an independent licenced surveyor
- Stormwater and drainage plan to a minimum scale of 1:200
- Site works plan
- Copy of Indemnity Insurance Certificate
- Construction Industry Training Board (CITB) Levy receipt
- Sections to scale
- Structural engineer's report

- Roof, wall, floor and framing details to scale
- Wet area specifications (if applicable)
- Energy efficiency assessment
- Truss calculations
- General specification
- Manufacturers details
- Location of smoke detectors on a scaled plan (can be shown on the floor plan)
- Protection of buildings exposed to brush fences (if applicable)
- Water efficiency – water tanks
- Stair and balustrade construction details (if applicable)

* Applications can be lodged electronically via the [Development Forms and Checklists](#) page on Council's [website](#).

Additional information can be found within the below [Information Guides](#):

- The Development Approval Process
- Information required for Development Approval

Further advice or hard copy forms can be obtained from the Duty Planning/Building Officer at Council or by phoning 8408 1111.